


Department of Planning and Zoning

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Elsie Tillotson, Department Secretary



TO: Development Review Board
FROM: Scott Gustin 
DATE: April 15, 2014
RE: 14-0854CA, 57 Oak Street

Note: These are staff comments only; decisions on projects are made by the Development Review Board, which may approve, deny, table or modify any project. **THE APPLICANT OR REPRESENTATIVE MUST ATTEND THE MEETING.**

Zone: RCO-RG Ward: 2

Owner/Representative: City of Burlington, Dept. of Parks & Recreation

Request: Enclose open portions of existing Roosevelt Park storage/pavilion building and install new windows, doors, and lighting.

Applicable Regulations:

Article 4 (Maps & Districts), Article 5 (Citywide General Regulations), Article 6 (Development Criteria & Guidelines)

Background Information:

The applicant is seeking approval to enclose existing open-air space within the existing pavilion building at Roosevelt Park. There would be a net increase in enclosed building area of about 1,500 sf. The gross building area will be about 3,000 sf. No site changes are proposed.

The applicant has dropped the requested change in use to membership club (part of the Boys & Girls Club) due to potential parking problems. If a change in use is pursued, it will be done under separate permit application in the future.

Previous zoning actions for this property are noted below.

- 4/7/12, Approval to install batting cage structure
- 3/19/10, Approval to construct new scoreboard
- 10/12/06, Approval to install storage shed next to dugout
- 9/23/02, Approval to install exterior lighting fixtures
- 4/25/98, Approval to construct snack bar structure
- 10/24/96, Approval to install two doors in existing park structure

Recommendation: Consent approval as per, and subject to, the following findings and conditions:

I. Findings

Article 4: Maps & Districts

Sec. 4.4.6, Recreation, Conservation, and Open Space Districts:

(a) Purpose

(2) RCO-Recreation/Greenspace (RCO-RG)

The subject property is located in the RCO-RG zone. This zone is intended to provide a diversity of passive and active recreational opportunities and other urban green spaces that provide for public use and enjoyment. It includes a wide spectrum of recreational opportunities including developed parks with active public-use facilities such as at Roosevelt Park. The pavilion is integral to Roosevelt Park and will remain so. **(Affirmative finding)**

(b) Dimensional Standards & Density

Lot coverage will remain unchanged at 30.7%. Setbacks and building height will also remain unchanged and acceptable. **(Affirmative finding)**

(c) Permitted & Conditional Uses

The parks use of the property is permitted and will remain unchanged. **(Affirmative finding)**

(d) District Specific Regulations

Not applicable.

Article 5: Citywide General Regulations

Sec. 5.2.3, Lot Coverage Requirements

See Sec. 4.4.6 (b) above.

Sec. 5.2.4, Buildable Area Calculation

Not applicable.

Sec. 5.2.5, Setbacks

See Sec. 4.4.6 (b) above.

Sec. 5.2.6, Building Height Limits

See Sec. 4.4.6 (b) above.

Sec. 5.2.7, Density and Intensity of Development Calculations

See Sec. 4.4.6 (b) above.

Sec. 5.5.1, Nuisance Regulations

Nothing in this proposal appears to constitute a nuisance. **(Affirmative finding)**

Sec. 5.5.2, Outdoor Lighting

New outdoor lighting is limited to new doorway illumination. The proposed lighting fixtures are to be recessed canister fixtures with LED lamps. No lumen information has been provided and is needed in order to confirm compliance with illumination levels under this criterion. **(Affirmative finding as conditioned)**

Sec. 5.5.3, Stormwater and Erosion Control

Not applicable. No change in lot coverage or earth disturbance.

Article 6: Development Review Standards:

Part 1, Land Division Design Standards

Not applicable.

Part 2, Site Plan Design Standards

Sec. 6.2.2, Review Standards

Not applicable. No site changes.

Part 3, Architectural Design Standards

Sec. 6.3.2, Review Standards

(a) Relate development to its environment

1. Massing, Height, and Scale

The existing building envelope will essentially remain unchanged. No changes to the roof or foundation are proposed. The north and south open-air pavilion spaces will simply be enclosed. **(Affirmative finding)**

2. Roofs and Rooflines

No changes to the gable roof are proposed. **(Affirmative finding)**

3. Building Openings

Fenestration is basic and consists of horizontally oriented awning windows that reflect the low-slung horizontal orientation of the building. **(Affirmative finding)**

(b) Protection of important architectural resources

The pavilion building is not historically significant. Given its placement within Roosevelt Park, the building is isolated from other buildings in the area. The proposed alterations will have no impact on historic buildings in the surrounding neighborhood. **(Affirmative finding)**

(c) Protection of important public views

There are no identified public view corridors from or through the subject property. **(Affirmative finding)**

(d) Provide an active and inviting street edge

As noted above, the subject building is relatively isolated within Roosevelt Park. It has no street presence and operates only as a parks building. The proposed alterations will have no adverse impact on the surrounding street edge. **(Affirmative finding)**

(e) Quality of materials

Roofing will remain unchanged. The new and existing exterior building walls will be finished with EFIS. Clad wooden windows will be installed throughout. While the EFIS is not especially high quality, it is acceptable for this utilitarian parks building. **(Affirmative finding)**

(f) Reduce energy utilization

The building will be insulated throughout and will be required to meet the city's current energy efficiency standards. **(Affirmative finding as conditioned)**

(g) Make advertising features complimentary to the site

Not applicable.

(h) Integrate infrastructure into the building design

No new roof-mounted mechanical equipment or other infrastructure is included in this project design. **(Affirmative finding)**

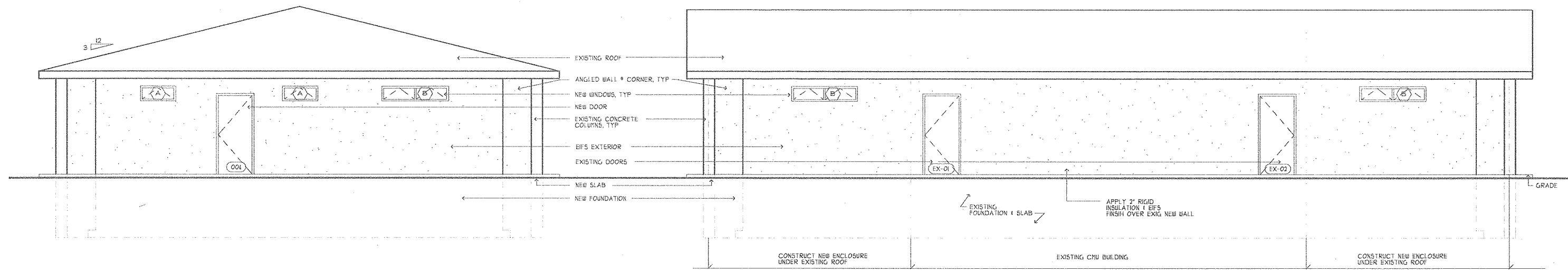
(i) Make spaces safe and secure

Emergency service access to the building remains unchanged. The proposed construction must comply with current egress requirements. **(Affirmative finding as conditioned)**

II. Conditions of Approval

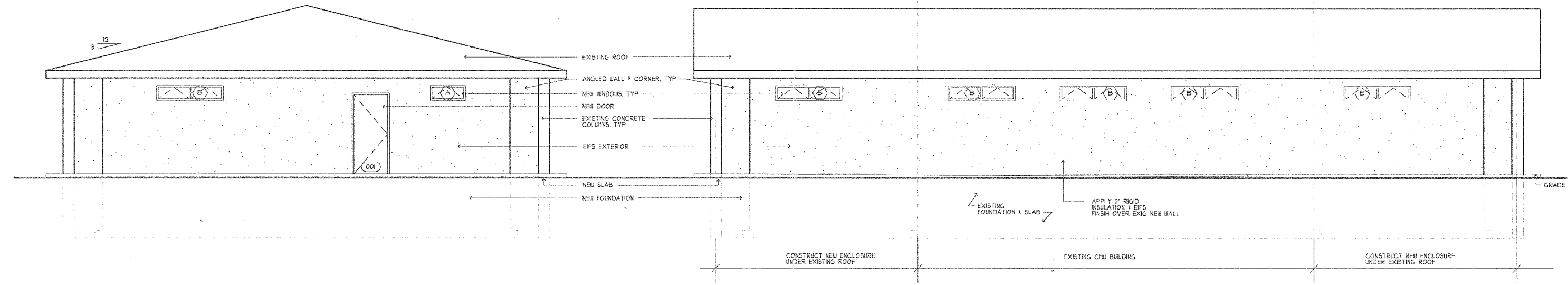
1. **Prior to release of the zoning permit**, lumen information for the new exterior lighting fixtures shall be provided, subject to staff review and approval.
2. **At least 7 days prior to issuance of a certificate of occupancy**, impact fees shall be paid to the Department of Planning & Zoning based on the net new building square footage.
3. The Applicant/Property Owner is responsible for obtaining all necessary Zoning Permits and Building Permits through the Department of Public Works as well as other permit(s) as may be required, and shall meet all energy efficiency and ADA handicap accessibility codes as required.
4. Standard permit conditions 1-15.

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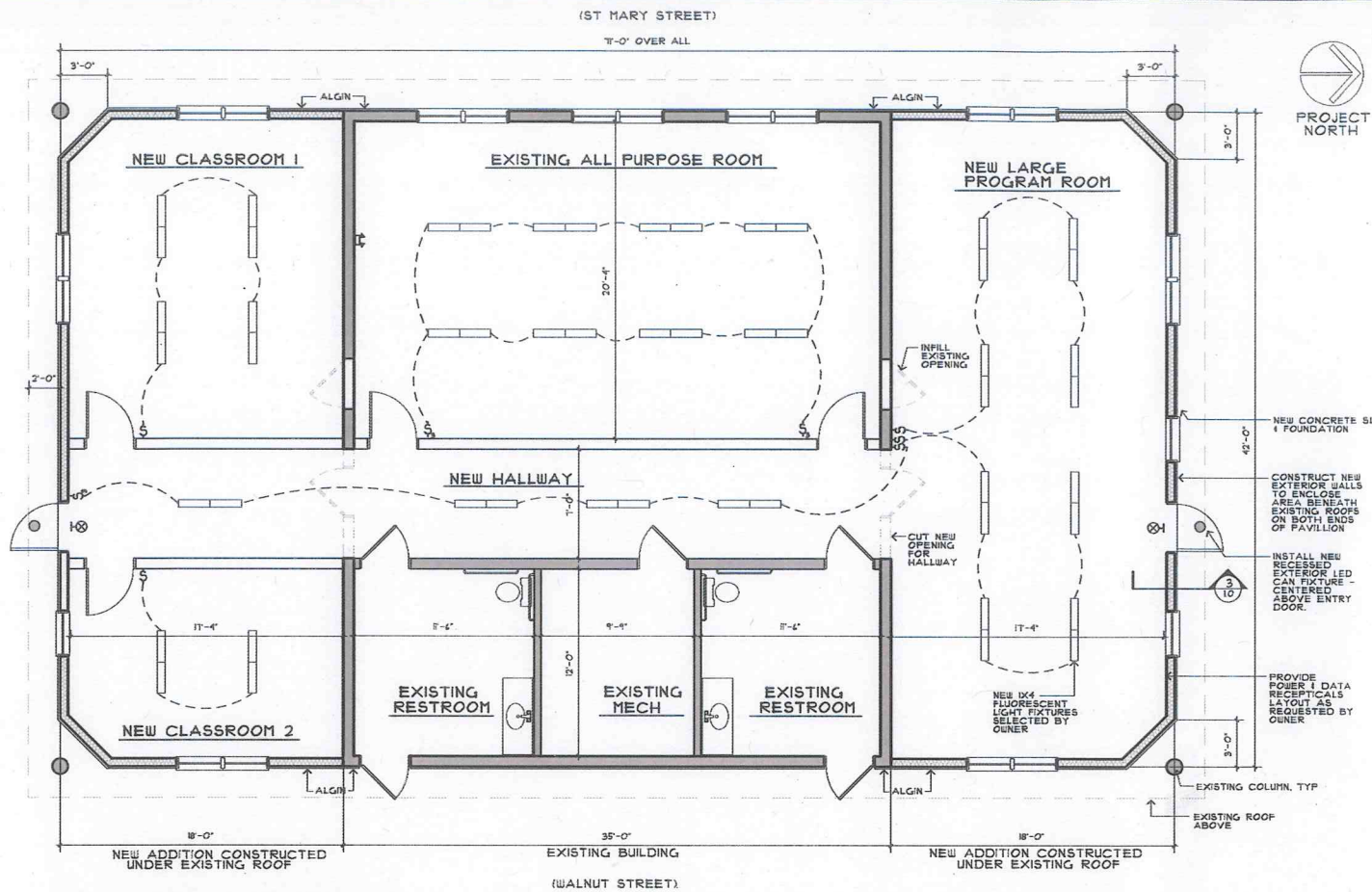
1 NORTH ELEVATION
2.0

2 EAST ELEVATION
2.0

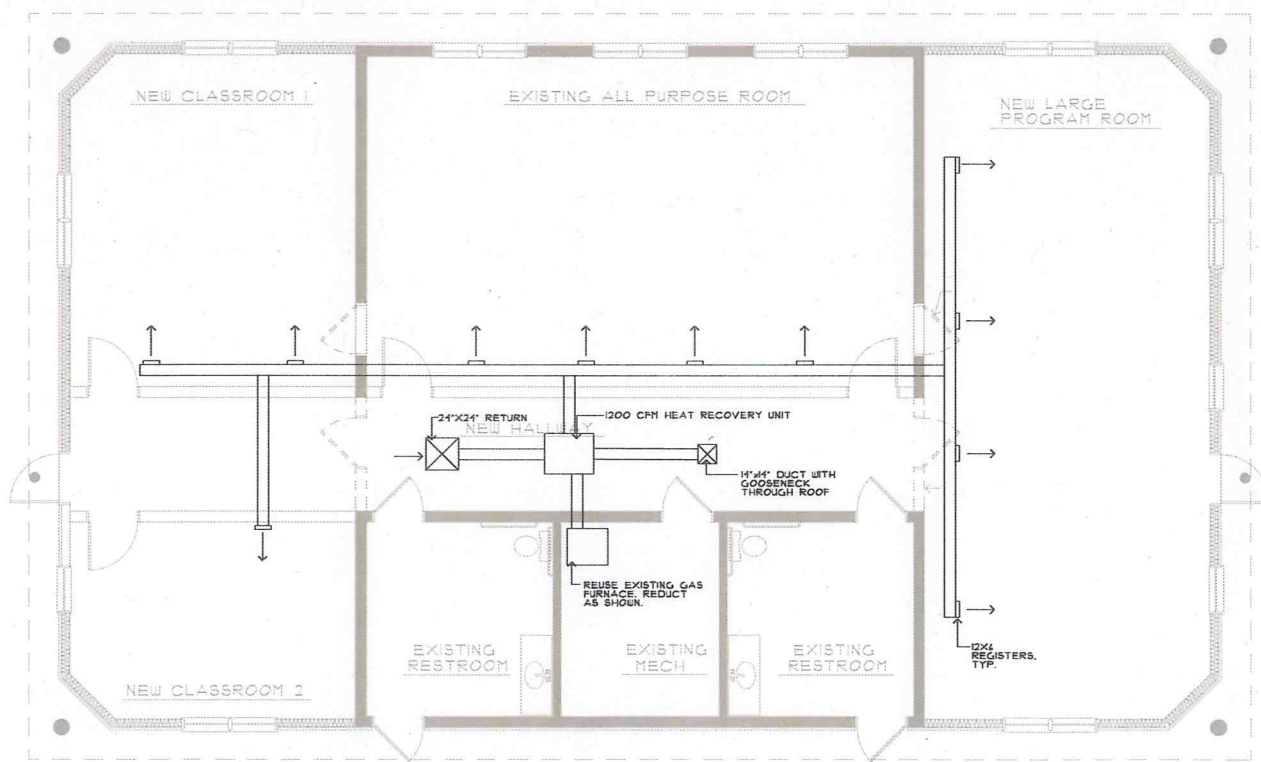


3 SOUTH ELEVATION
2.0

4 WEST ELEVATION
2.0



1 FLOOR & LIGHTING PLAN
1.0 3/16"=1'-0"



2 MECHANICAL PLAN
1.0 3/16"=1'-0"

LEGEND

- EXISTING WALL TO REMAIN
- WALLS TO BE REMOVED
- NEW INTERIOR WALLS - 2X4 WOOD FRAMED CONSTRUCTION WITH 1/2" GWB ON EACH SIDE.
- NEW EXTERIOR WALLS
- LIGHT FIXTURES
- LIGHT SWITCH
- 2 WAY LIGHT SWITCH
- EMERGENCY LIGHTING
- EXIT SIGN
- EXT RECESSED LED CAN

WINDOW INDEX

KEY	WINDOW TYPE	FRAME SIZE (width x height)	NOTES
A	DOUBLE AWING	12' x 7'	
B	SINGLE AWING	12' x 31 1/2"	

WINDOW NOTES:
1. WINDOWS TO BE PAINTED WOOD WITH METAL CLAD EXTERIOR.

4 WINDOW SCHEDULE
1.0 NTS

DOOR SCHEDULE

DOOR #	ROOM	THK	SIZE	DOOR INFORMATION	FRAME INFORMATION	NOTES
001	ENTRY DOOR	1 3/4"	3'-0" x 7'-0"	A	NTL	
002	NEW CLASSROOM 1	1 3/4"	3'-0" x 7'-0"	B	SCI	
003	NEW CLASSROOM 2	1 3/4"	3'-0" x 7'-0"	B	SCI	
004	EXIST ALL PURPOSE RM	1 3/4"	3'-0" x 7'-0"	B	SCI	
005	EXIST ALL PURPOSE RM	1 3/4"	3'-0" x 7'-0"	B	SCI	
006	ENTRY	1 3/4"	3'-0" x 7'-0"	A	NTL	
EX-01	EXIST RESTROOM	1 3/4"	3'-0" x 7'-0"	A	NTL	
EX-02	EXIST RESTROOM	1 3/4"	3'-0" x 7'-0"	A	NTL	
EX-03	EXIST RESTROOM	1 3/4"	3'-0" x 7'-0"	B	SCI	
EX-04	EXIST MECHANICAL	1 3/4"	3'-0" x 7'-0"	B	SCI	
EX-05	EXIST RESTROOM	1 3/4"	3'-0" x 7'-0"	B	SCI	

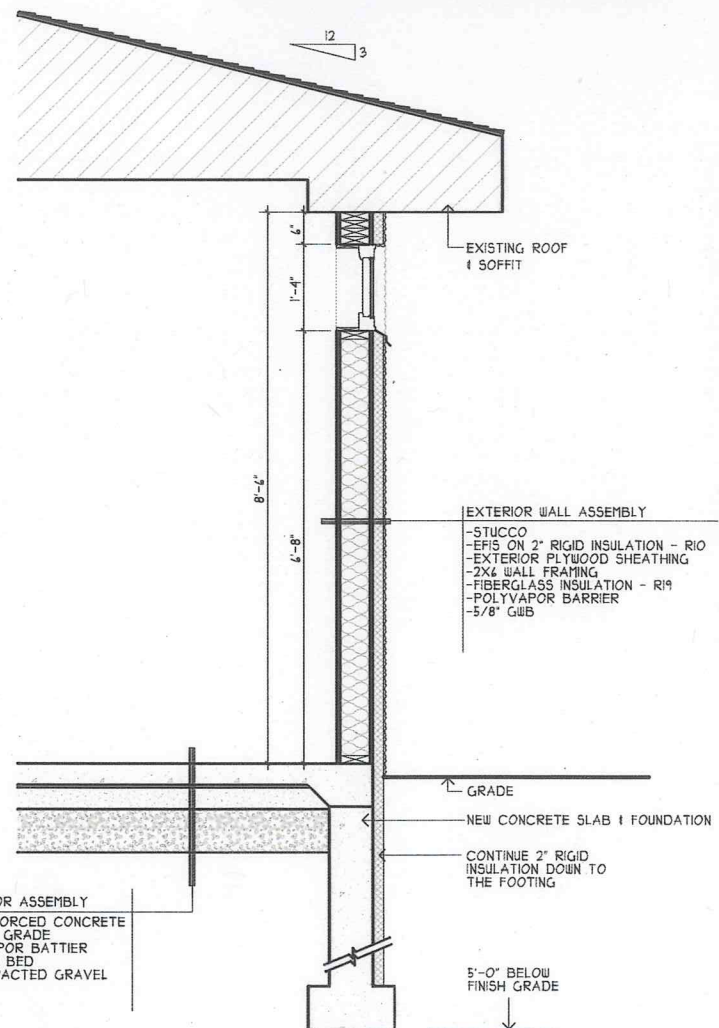
DOOR NOTES:
1. EXISTING DOORS TO REMAIN

5 DOOR SCHEDULE
1.0 NTS

SCOPE OF WORK:
NEW CONSTRUCTION CONSISTS OF ENCLING 2 EXTERIOR AREAS UNDER THE EXISTING PAVILLION ROOF WITH INSULATED WALLS AND FROST WALLS. A NEW PARTITION CREATES A HALLWAY TO CONNECT DOORS ON EACH END.



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3 WALL SECTION
1.0 3/4"=1'-0"



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Williston, Vermont 05495
Phone 802 655 0145
www.gk-architects.com

Date
03/17/14
Scale
AS NOTED
Project No.

PLANS & WALL SECTION

Roosevelt Park Pavilion Addition
Oak St, Burlington, Vermont 05401

Sheet Number
1.0